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PROJECT:  
LEXINGTON LOFTS  
200 BOLIVAR STREET  
LEXINGTON, KENTUCKY  
DRAWING:  
SECOND FLOOR PLAN

DATE: 9/25/02  
DRAWN BY: MLK  
REVISIONS:  
10/1/02  
1/10/03  
3/3/04  
8/25/04

SHEET NO.  
**A-3**

**TYPICAL ROOM FINISHES - UNITS 200-238**

ALL FLOORS ARE TO BE EXPOSED CONCRETE  
3" CONCRETE SLAB POURED OVER 10 MIL VAPOR BARRIER AND EXISTING WOOD DECK.  
FLOORS TO HAVE 2 COATS MAX AND BE MACHINE BUFFED.

BATHROOM FLOORS TO BE SHEET VCT OVER CONCRETE SLAB.

CONCRETE FLOORS TO BE PATCHED AS REQUIRED FLUSH WITH EXISTING FINISH

ALL WALLS AND DOOR FRAMES AND WINDOWS ARE TO BE PAINTED.

WALL BASE TO BE BLACK VINYL.

WOOD DOORS TO BE SOLID CORE, STAIN GRADE PLAIN SLICED OAK PRE-FINISHED.  
MILL MACHINED TO RECEIVE HARDWARE.

UNIT INTERIOR DOOR TO BE HOLLOW CORE.

HOLLOW METAL DOORS TO BE MILL GALVANIZED, INSULATED CORE

ALL CEILINGS ARE PAINTED EXPOSED STRUCTURE UNLESS NOTED OTHERWISE.

CEILINGS IN UNITS 208 THRU 238 ARE TO HAVE PAINTED 9"X9" GYP. BD. CL69.

CEILINGS IN STAIRS 1 AND 2 ARE TO BE PAINTED.

ALL STEEL PIPE HANDRAILS AND GUARD RAILS, STEEL TREADS, STRINGERS AND CHECKERED PLATE LANDINGS ARE TO BE PAINTED.

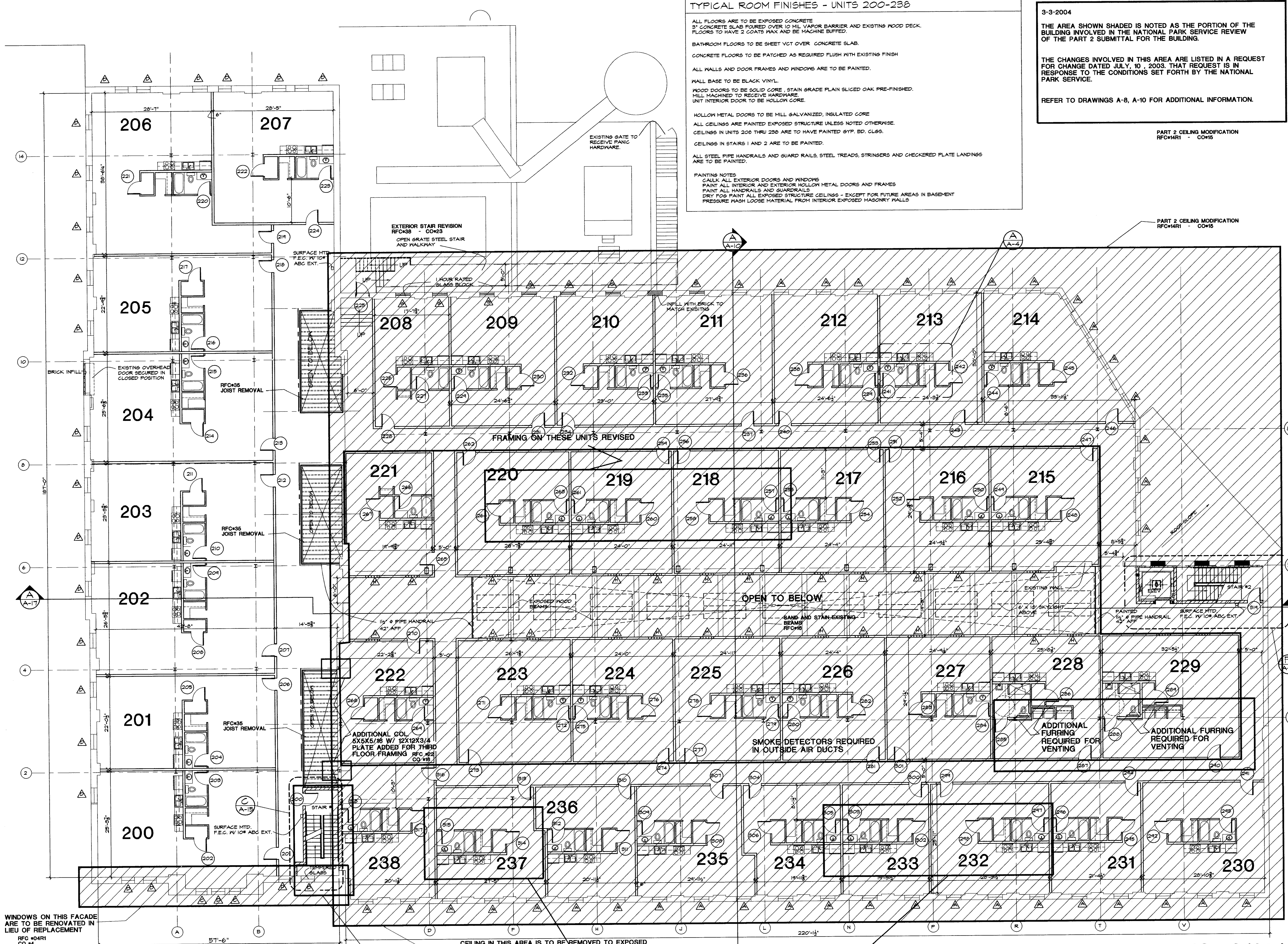
**PAINTING NOTES**  
CAULK ALL EXTERIOR DOORS AND WINDOWS  
PAINT ALL INTERIOR AND EXTERIOR HOLLOW METAL DOORS AND FRAMES  
PAINT ALL HANDRAILS AND GUARDRAILS  
DRY FOAM PAINT ALL EXPOSED STRUCTURE CEILINGS - EXCEPT FOR FUTURE AREAS IN BASEMENT  
PRESSURE WASH LOOSE MATERIAL FROM INTERIOR EXPOSED MASONRY WALLS

3-3-2004

THE AREA SHOWN SHADED IS NOTED AS THE PORTION OF THE BUILDING INVOLVED IN THE NATIONAL PARK SERVICE REVIEW OF THE PART 2 SUBMITTAL FOR THE BUILDING.

THE CHANGES INVOLVED IN THIS AREA ARE LISTED IN A REQUEST FOR CHANGE DATED JULY, 10, 2003. THAT REQUEST IS IN RESPONSE TO THE CONDITIONS SET FORTH BY THE NATIONAL PARK SERVICE.

REFER TO DRAWINGS A-8, A-10 FOR ADDITIONAL INFORMATION.



WINDOWS ON THIS FACADE ARE TO BE RENOVATED IN LIEU OF REPLACEMENT  
RFC #04R1  
CO #4

**SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
41,500 SQUARE FEET (GROSS)

CEILING IN THIS AREA IS TO BE REMOVED TO EXPOSED EXISTING STRUCTURE.  
RFC #14R1  
CO #15

SEE SHEETS A-11 AND A-15 FOR STAIR #1 REVISIONS  
RFC #23  
CO #17

FRAMING ON THESE UNITS REVISED

**AS-BUILT DRAWING 8/25/04**

Doc # 51st  
234  
B-1  
3/2/05