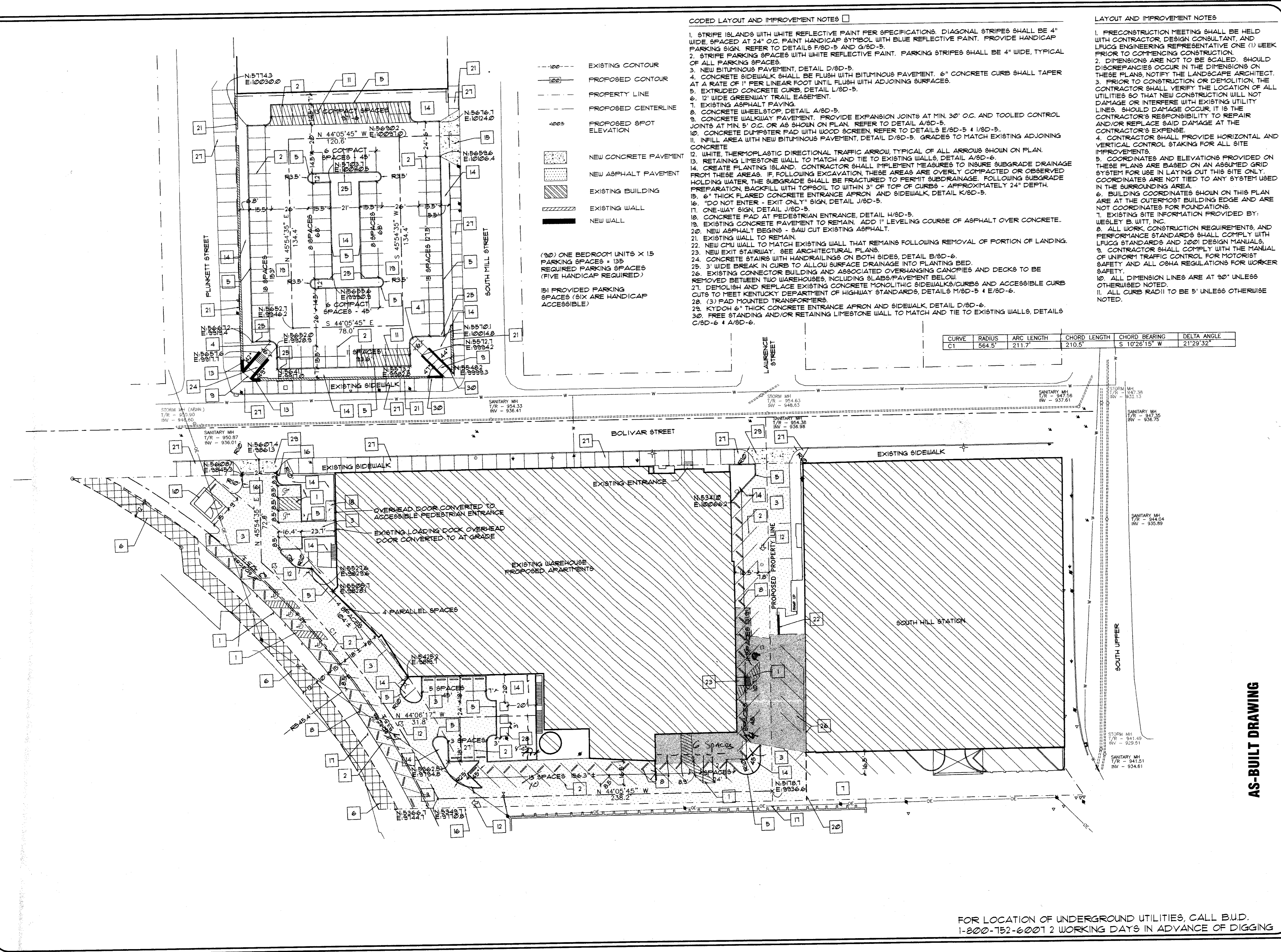


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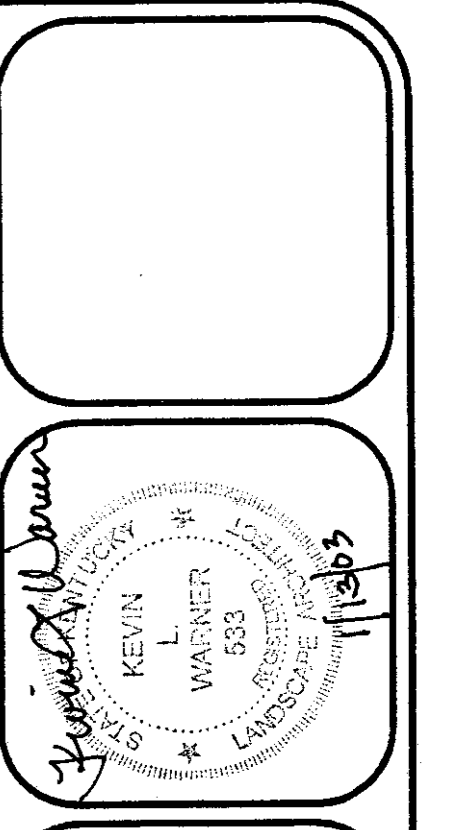
CODED LAYOUT AND IMPROVEMENT NOTES

1. STRIPE ISLANDS WITH WHITE REFLECTIVE PAINT PER SPECIFICATIONS. DIAGONAL STRIPES SHALL BE 4" WIDE SPACED AT 24" O.C. PAINT HANDICAP SYMBOL WITH BLUE REFLECTIVE PAINT. PROVIDE HANDICAP PARKING SIGN. REFER TO DETAILS F/S-D-5 AND G/S-D-5.
2. STRIPE PARKING SPACES WITH WHITE REFLECTIVE PAINT. PARKING STRIPES SHALL BE 4" WIDE, TYPICAL OF ALL PARKING SPACES.
3. NEW BITUMINOUS PAVEMENT, DETAIL D/S-D-5.
4. CONCRETE SIDEWALK SHALL BE FLUSH WITH BITUMINOUS PAVEMENT. 6" CONCRETE CURB SHALL TAPER AT A RATE OF 1" PER LINEAR FOOT UNTIL FLUSH WITH ADJOINING SURFACES.
5. EXTRUDED CONCRETE CURB, DETAIL L/S-D-5.
6. 12" WIDE GREENWAY TRAIL EASEMENT.
7. EXISTING ASPHALT PAVING.
8. CONCRETE WHEELSTOP, DETAIL A/S-D-5.
9. CONCRETE WALKWAY PAVEMENT. PROVIDE EXPANSION JOINTS AT MIN. 30' O.C. AND TOOLED CONTROL JOINTS AT MIN. 5' O.C. OR AS SHOWN ON PLAN. REFER TO DETAIL A/S-D-5.
10. CONCRETE DUMPSTER PAD WITH WOOD SCREEN REFER TO DETAILS B/S-D-5 & I/S-D-5.
11. INFILL AREA WITH NEW BITUMINOUS PAVEMENT, DETAIL D/S-D-5. GRADES TO MATCH EXISTING ADJOINING CONCRETE.
12. WHITE THERMOPLASTIC DIRECTIONAL TRAFFIC ARROW, TYPICAL OF ALL ARROWS SHOWN ON PLAN.
13. RETAINING LIMESTONE WALL TO MATCH AND TIE TO EXISTING WALLS, DETAIL A/S-D-6.
14. CREATE PLANTING ISLAND. CONTRACTOR SHALL IMPLEMENT MEASURES TO INSURE SUBGRADE DRAINAGE FROM THESE AREAS. IF FOLLOWING EXCAVATION THESE AREAS ARE OVERLY COMPACTED OR OBSERVED HOLDING WATER, THE SUBGRADE SHALL BE FRACTURED TO PERMIT SUBDRAINAGE. FOLLOWING SUBGRADE PREPARATION BACKFILL WITH TOPSOIL TO WITHIN 3" OF TOP OF CURBS - APPROXIMATELY 24" DEPTH.
15. 6" THICK FLARED CONCRETE ENTRANCE AFFRON AND SIDEWALK, DETAIL K/S-D-5.
16. "DO NOT ENTER - EXIT ONLY" SIGN, DETAIL J/S-D-5.
17. ONE-WAY SIGN, DETAIL J/S-D-5.
18. CONCRETE PAD AT PEDESTRIAN ENTRANCE, DETAIL W/S-D-5.
19. EXISTING CONCRETE PAVEMENT TO REMAIN. ADD 1" LEVELING COURSE OF ASPHALT OVER CONCRETE.
20. NEW ASPHALT BEGINS - SAW CUT EXISTING ASPHALT.
21. EXISTING WALL TO REMAIN.
22. NEW CMU WALL TO MATCH EXISTING WALL THAT REMAINS FOLLOWING REMOVAL OF PORTION OF LANDING.
23. NEW EXIT STAIRWAY. SEE ARCHITECTURAL PLANS.
24. CONCRETE STAIRS WITH HANDRAILINGS ON BOTH SIDES, DETAIL B/S-D-6.
25. 3" WIDE BREAK IN CURB TO ALLOW SURFACE DRAINAGE INTO PLANTING BED.
26. EXISTING CONCRETE BUILDING AND ASSOCIATED OVERHANGING CANOPIES AND DECKS TO BE REMOVED BETWEEN TWO WAREHOUSES, INCLUDING SLABS/PAVEMENT BELOW.
27. DEMOLISH AND REPLACE EXISTING CONCRETE MONOLITHIC SIDEWALKS/CURBS AND ACCESSIBLE CURB CUTS TO MEET KENTUCKY DEPARTMENT OF HIGHWAY STANDARDS, DETAILS M/S-D-5 & E/S-D-6.
28. (3) PAD MOUNTED TRANSFORMERS.
29. KYDOT 6" THICK CONCRETE ENTRANCE AFFRON AND SIDEWALK, DETAIL D/S-D-6.
30. FREE STANDING AND/OR RETAINING LIMESTONE WALL TO MATCH AND TIE TO EXISTING WALLS, DETAILS C/S-D-6 & A/S-D-6.

LAYOUT AND IMPROVEMENT NOTES

1. PRECONSTRUCTION MEETING SHALL BE HELD WITH CONTRACTOR, DESIGN CONSULTANT, AND LUJOG ENGINEERING REPRESENTATIVE ONE (1) WEEK PRIOR TO COMMENCING CONSTRUCTION.
2. DIMENSIONS ARE NOT TO BE SCALED. SHOULD DISCREPANCIES OCCUR IN THE DIMENSIONS ON THESE PLANS, NOTIFY THE LANDSCAPE ARCHITECT.
3. PRIOR TO CONSTRUCTION OR DEMOLITION, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES SO THAT NEW CONSTRUCTION WILL NOT DAMAGE OR INTERFERE WITH EXISTING UTILITY LINES. SHOULD DAMAGE OCCUR, IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE SAID DAMAGE AT THE CONTRACTOR'S EXPENSE.
4. CONTRACTOR SHALL PROVIDE HORIZONTAL AND VERTICAL CONTROL STAKING FOR ALL SITE IMPROVEMENTS.
5. COORDINATES AND ELEVATIONS PROVIDED ON THESE PLANS ARE BASED ON AN ASSURED GRID SYSTEM FOR USE IN LAYING OUT THIS SITE ONLY. COORDINATES ARE NOT TIED TO ANY SYSTEM USED IN THE SURROUNDING AREA.
6. BUILDING COORDINATES SHOWN ON THIS PLAN ARE AT THE OUTERMOST BUILDING EDGE AND ARE NOT COORDINATES FOR FOUNDATIONS.
7. EXISTING SITE INFORMATION PROVIDED BY: WESLEY B. WITT, INC.
8. ALL WORK, CONSTRUCTION REQUIREMENTS, AND PERFORMANCE STANDARDS SHALL COMPLY WITH LUJOG STANDARDS AND 2020 DESIGN MANUALS.
9. CONTRACTOR SHALL COMPLY WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL FOR MOTORIST SAFETY AND ALL OSHA REGULATIONS FOR WORKER SAFETY.
10. ALL DIMENSION LINES ARE AT 30' UNLESS OTHERWISE NOTED.
11. ALL CURB RADII TO BE 5' UNLESS OTHERWISE NOTED.

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	564.5'	211.7'	210.3'	S 10°26'15" W	217°29'32"



LAYOUT PLAN
BOLIVAR DEVELOPMENT
 200-224 & 245 Bolivar Street
 Lexington, Kentucky

AS-BUILT DRAWING

JOHN L. CARMAN & ASSOCIATES, INC.
 1000 East Main Street
 Lexington, Kentucky 40507 859/254-9805
 Landscape Architecture • Planning • Site Engineering

DRAWN: 99T
 DATE: 12.31.02
 CHECKED: KLU
 REVISED: 10.23
 113.23
 I.C. # 02-144

SHEET
 SD-1

FOR LOCATION OF UNDERGROUND UTILITIES, CALL B.U.D.
 1-800-752-6001 2 WORKING DAYS IN ADVANCE OF DIGGING